

To: ALL BIDDERS

Ref: Pierpont ATC Deferred Maintenance

Subj.: **ADDENDUM BULLETIN NO. 1**

This Addendum Bulletin shall be incorporated in the Construction Documents including the Drawings and Specifications for the Project referenced above. All work amended as listed herein shall be included in your Bid Proposal and the bidder shall acknowledge this addendum bulletin on the Bid Form.

The work shall be amended as follows:

1. SPECIFICATIONS (see enclosures):

- a. **Division 00300 Form of Proposal:** REPLACE section in its entirety, see Enclosures. Section has been revised to combine previous Alternate #5 and Alternate #6 into new Alternate #5.
- b. **Division 012300 Alternates:** REPLACE section in its entirety, see Enclosures. Section has been revised to combine previous Alternate #5 and Alternate #6 into new Alternate #5.

2. DRAWINGS (see enclosures):

- a. **Drawing A-4.1:** REPLACE sheet in its entirety, see Enclosures. Updates have been clouded and tagged. Revisions relate to labeling of toilet accessories.
- b. **Drawing A-7.0:** REPLACE sheet in its entirety, see Enclosures. Updates have been clouded and tagged. Revisions relate to type and location of wall finish materials.

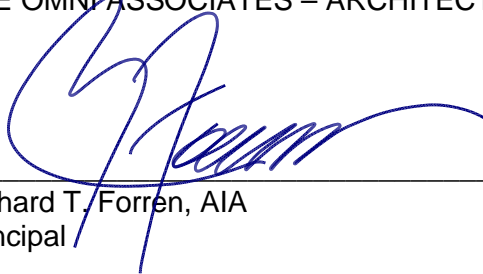
3. FOR CLARIFICATION:

- a. The following points were clarified with bidders at the pre-bid meeting:
 - i. Bids are to be good for 60 days from submittal.
 - ii. No federal funding is involved in the project.
 - iii. Materials may be brought in through the front door and brought up either stair shaft, or via the elevator.
 - iv. Building will be in use during construction.
 1. Summer classes may be in progress during construction.
 2. Construction noise issues can be worked out on a case-by-case basis.

- b. Questions submitted via the Bid Phase RFI Portal are all reviewed. If your question has not been included in the Bid Phase RFI Log (see Enclosures), it is still under review.
- c. If bidders need access to the building during the bid period, they are to contact Chip Hawkins at (304) 502-2979.
- d. The bid instructions direct bidders to deliver their bids to the Owner's offices. The Building 2000 entrance to their office space can be difficult to find. See Enclosures for a Bid Delivery Map identifying the correct entrance to deliver bids for this project.
- e. A link has been provided below to existing facility drawings. Neither Omni nor the Owner will vouch for their reliability. All existing conditions must be field verified prior to bid.
 - i. <https://workdrive.zohoexternal.com/external/be83963a7bab55f751acb69852a2e0b5870c413735f1daa75d2e764d389bb457>
- f. Previous Alternates #5 and #6 have been combined into new Alternate #5. The work associated with this Alternate includes all work on sheets C-1.1 and C-1.2.

END OF ADDENDUM

Submitted by:
THE OMNI ASSOCIATES – ARCHITECTS



Richard T. Forren, AIA
Principal

Enclosures:

- A Pre-bid Meeting Presentation
- B Pre-bid Sign-in Sheet
- C Bid Phase RFI Log
- D Revised 00300 Form of Proposal
- E Revised 012300 Alternates
- F Bid Delivery Map
- G Revised sheet A-4.1
- H Revised sheet A-7.0

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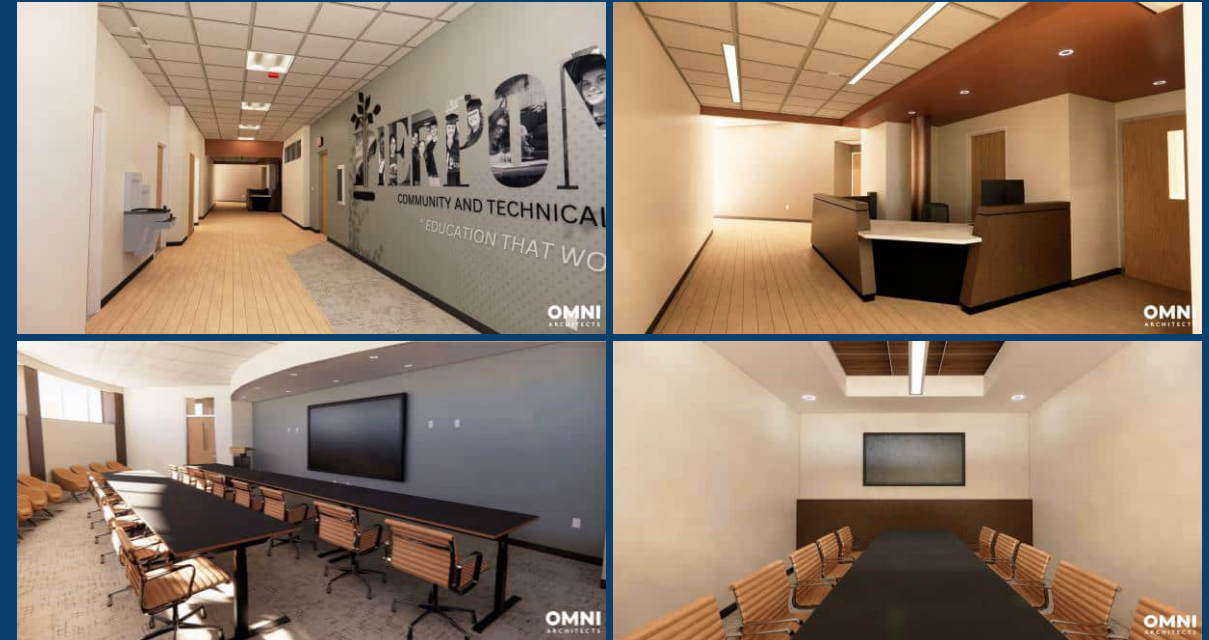
WVCTCS Pierpont ATC Deferred Maintenance Projects

Pre-Bid Conference

April 30, 2025

Project Overview

The project consists of Deferred Maintenance tasks on the Pierpont Advanced Technology Center campus in Fairmont, WV. These tasks vary in complexity, with the bulk of the work being done on the 3rd floor, where the existing shell space is being fit out to house the administration suite. Other associated work is described in the Contract Documents.



Project Overview (continued)

Base bid is to include all work not explicitly included in the alternates.

Alternates are clearly defined in the contract documents and are briefly described as follows:

Alternate No. 1: Reinsulate exterior ductwork serving xRTU-1

Alternate No. 2: Replace exterior damaged ductwork serving xRTU-1

Alternate No. 3: 2nd Floor Insulation at Exterior Wall

Alternate No. 4: Downspout repair and tie-in

Alternate No. 5: Replacing sealant in sidewalk joints

Alternate No. 6: Exterior stairway concrete repairs



Project Requirements

- Attendance at this conference is a mandatory prerequisite for prime bidders wishing to submit a bid. Everyone in attendance must fill out the sign-in sheet.
- A site visit will be conducted to allow all bidders to verify existing site conditions. Representatives from the Owner/Design Team are present to answer questions regarding scope of work, requirements of the bid and to further clarify existing conditions. Contractors are reminded that a site visit is required for bid submission. Change order requests for existing conditions that should have been anticipated during a site visit will not be considered.
- Contractors and subcontractors must be registered and licensed with the State of West Virginia and the City of Fairmont.
- All applicable sales and B&O taxes apply.
- Contractors must comply with WV Jobs Act, Drug Free Workplace.



Project Requirements (continued)

- Single Prime contract
- Notice to Proceed (anticipated): June 1, 2025
- Duration from Notice to Proceed to achieve Substantial Completion: 180 days
- Bid Bond in the amount of 5% of the total bid
- Performance and Payment Bond in the amount of 100% of the total contract price



Bid Requirements

Sealed bids for the project will be received Sealed Bids will be received by the OWNER at the following location until 3:00 PM, EST, May 14, 2025, in accordance with the Instructions to Bidders, and Supplementary Instructions to Bidders:

Senior Director of Facilities
WV Community and Technical College System
RFB 25254
2001 Union Carbide Drive, Building 2000
Charleston, WV 25301

1. Bids Delivered by UPS and Federal Express: The UPS and FedEx drivers will deliver bids to the mail room at the address above.
2. Hand Delivered Bids: The preferred method to deliver bids. Deliver Bids to the following address: 1st Floor, WV Community and Technical College System, 2001 Union Carbide Drive, Building 2000, South Charleston, WV 25303.
3. Delivering Bids via U. S. Postal Service: Not recommended. Bids may or may not arrive on time.
4. Electronically transmitted bids and late bids will not be accepted.



Bid Requirements (continued)

Each Bid must be submitted in a sealed envelope which must contain: (a) the Bid Bond, (b) Form of Proposal containing the completed and signed Bid, (c) all other necessary documents as required in the specifications. The Envelope must have the following information in the lower left-hand corner:

Bid for: Pierpont ATC Deferred Maintenance

Name and address of Bidder

Bidder's WV Contractor's License Number

To Be Opened at 3:00PM, on May 14, 2025

Once the envelope is opened, the Bid Bond, and all other necessary documents as required for the Bid will be reviewed first to ensure that all such documents are in order. If the documents required to be contained in envelope are not in order, the Bid will be considered non-responsive and will be returned to the Bidder.



Site Logistics

- Stored materials
- Contractor facilities
- Utility hookups
- Construction traffic
- Method of access to the construction areas
- Crew parking
- Work Hours: Limit work to between 7:00 a.m. to 6:00 p.m., Monday through Friday, unless otherwise indicated. Work hours may be modified to meet Project requirements if approved by Owner and authorities having jurisdiction. Coordinate additional hours with Chip Hawkins.



Additional Items

Voice\ Data Responsibilities:

- GC to provide conveyance (trays, conduits, face plates, etc.) for data cabling per rough-in requirements
- Owner provides and installs cabling, equipment, and terminations

Furniture:

- Part of owner's FFE items
- GC is required to coordinate with owner as needed for installation during substantial completion phase

Commissioning:

- Owner will engage a third party for HVAC commissioning. GC to coordinate.

Inspections:

- GC responsible for scheduling all local and state inspections.
- The West Virginia State Fire Marshal is the code compliance entity that has jurisdiction over the project.



Design Intent

Interpretation of the bidding documents is solely the responsibility of the Design Team. Any vague, missing or conflicting information must be brought to the attention of the Project Architect for clarification.

Bid Phase RFIs must be submitted via the online form provided by the Architect (<https://tinyurl.com/OmniATC>). All bidders will receive the responses via Addenda.

Bid Phase RFIs will be accepted until close of business on **May 9, 2025**.



Design Intent (continued)

Scan the QR Code to get to the form:



OMNI
ARCHITECTS

Pierpont ATC Deferred Maintenance Bid Phase RFI Form

Question *
Provide a description of the requested information, including drawing sheet and detail numbers.

File Attachments
Use the File Attachments tool to submit pictures or screenshots pertaining to your request. **DO NOT** submit text documents of the RFI questions.

Drag and drop files here or [browse files](#)

RFI From *
Please include Name and Company (e.g., "John Smith, Generic Corp")

Email *
Please provide your email address in case we need to contact you for clarification.

Send me a copy of my responses

[Privacy Notice](#) | [Report Abuse](#)



Administrative Items

AIA Documents: The following documents are considered part of the contract documents. See specifications for additional AIA contract documents that are part of the contract. The successful bidder will be required to purchase and use original documents (“G” series which include the red logo) during construction.

- a. A101-2017 – Agreement Between Owner & Contractor
- b. A201-2017 – General Conditions of the Contract for Construction
- c. A701-2018 – Instructions to Bidders
- d. G701-2017 – Change Order
- e. G702/3-1992 – Application for Payment / Continuation Sheet
- f. G704-2000 – Certificate of Substantial Completion
- g. G706-1994 – Contractors Affidavit of Payment of Debts and Claims
- h. G706A-1994 – Contractors Affidavit of Release of Liens
- i. G707-1994 – Consent of Surety to Final Payment
- j. G707A-1994 – Consent of Surety to Reduction in or Partial Release of Retainage
- k. G710-2017 – Architect’s Supplemental Instructions
- l. G714-2017 – Construction Change Directive



Q&A



WVCTCS Pierpont ATC Deferred Maintenance Projects

OMNI JOB NO. 2024009.001

30-Apr-25

Name	Company Name/Address	Telephone, Fax Number & Email	Prime Contractor
Troy Eddy	J+J Drywall, Inc. 2411 Pike Drive FMT, WV 26554	Tele 304.367.0443 Fax 304.367.0400 Email troy@jjdrywallwv.com	Sub
Bill George ✓	Lombardi Development Company Ph: 304-748-5920 649 Virginia Avenue Email: bernie@lombardicompanies.com Follansbee, WV 26037 amber@lombardicompanies.com	Tele Fax Email	GC
Matt Gibbs	Casto Technical Services 540 Leon Sullivan Way Charleston, WV 25301	Tele 304-695-9068 304-346-0549 Fax Email mgibbs@castotech.com	Sub GC
Michael DeFazio	Central Supply 4423 Benedum Dr. Bridgeport WV 26330	Tele 304 5660279 Fax Email Michael.DeFazio@centralsupplywv.com	Supplier
Kurtis Clinton ✓	Jarrett Construction PO Box 5250 Charleston, WV 25361	Tele (304) 276-4327 Fax Email Kurtis.clinton@jarrett-construction.com	GC
Chip Hawkins	Pierpont	Tele 304-502-2979 Fax Email mhawkins20@Pierpont.edu	

Name	Company Name/Address	Telephone, Fax Number & Email	Prime Contractor
James Kosik	PCTC-ATC	Tele 304-694-8280 Fax Email JKosik@Pierpont.edu	
COLT BANE	MON VALLEY ELECTRIC 1609 GARNER ST. PLEASANT VALLEY WV	Tele 304-534-0510 Fax Email COLT@MONVALLEYELECTRIC.COM	
Jason McQuain ✓	City Construction Co.	Tele 623-2573 Fax Email Jason@CCCWV.US	
Sam Proctor ✓	VERITAS Contracting	Tele 304-598-2285 Fax sproctor@VERITASWV.COM Email Bid@VERITASWV.COM	GC
Rich Donovan	WUCTES	Tele Fax Email donovan@wuctes.edu	
		Tele Fax Email	
		Tele Fax Email	
		Tele Fax Email	

Name	Company Name/Address	Telephone, Fax Number & Email	Prime Contractor
MARK ELI	✓ HULLMAN CORPORATION 415A BEVERSON DRIVE BRIDGEPORT WV 26330	Tele 304-677-6033 Fax Email MARKWILLIAM.ELI@AOL.COM	✓
David Williams	Pierpont CTC 500 Gallier Dr, Fairmont, WV	Tele 304-333-3717 Fax Email dwilliams29@pierpont.edu	
		Tele Fax Email	
		Tele Fax Email	
		Tele Fax Email	
		Tele Fax Email	
		Tele Fax Email	
		Tele Fax Email	

Pierpont ATC DM Bid Phase PBI Report

Question Number	Question	Response	In Addendum
005	Finish schedule on A-7.0 calls for WC01 in corridor 300 but there is no indicator on the finish plan. Please clarify	Labels and materials have been clarified. See revised sheet in Addendum No. 1.	1
004	Is the PT2 on A-4.1 NIC- by owner?	This label should read "PT3", see Addendum No. 1 for revised sheet.	1
003	a. On A-1.3 doors 306A & 306B are labeled with B03 but on door schedule they are labeled B02. Please clarify. b. On door schedule doors there are numerous wood doors on AL frames (B01-B04) is this correct? c. Is the borrowed lite B05 to be aluminum or HM?	a. Frame type is B03 for both doors. b. Yes c. See details referenced in the frame type elevation. Frame is aluminum.	1
002	a. On C1.1 for alternate #6 the stairway concrete repairs, are we to figure removing and modifying all existing railings to surface mount per stair repair detail and base plate detail? b. Under alternate #6 the stairway with the tread plates, are we installing new tread plates and patch or just patching with Sika 223?	a. Removing and modifying or removing and replacing the existing railings with surface mount and base plates will be acceptable. b. No new tread plates are intended to be installed; removal of existing tread plates and patching with the Sika 223 product is the intent.	1
001	On proposed list of sub-contractors, there is steel fabricator, roof membrane manufacture and roof installer.	Contractors only need fill in the subcontractors they will be using.	1

SECTION 00300 – REVISED FORM OF PROPOSAL ADDENDUM NO. 1

BID TO THE OWNER: West Virginia Community and Technical College System
2001 Union Carbide Drive, Building 2000
South Charleston, WV 25303

PROJECT: Request for Bids (RFB) 25254
Advanced Technology Center Deferred Maintenance Projects
Pierpont Community and Technical College

Bidder's Name: _____

The undersigned, hereinafter called "Bidder," being familiar with and understanding the Bidding Documents, and also having examined the site and being familiar with all local conditions affecting the Project, hereby proposes to furnish all labor, material, equipment, supplies and transportation, and to perform all Work in accordance with the Bidding and Contract Documents within the time set forth below for the sum of:

BASE BID: \$ _____

(Amount to be shown in both words and numbers. In the event of a difference between the written amount and the number amount, the written amount shall prevail.)

The Bidder, if successful and awarded a Contract, agrees that all Work is to be Substantially Complete within the below listed consecutive calendar days following receipt of Owner's written Notice to Proceed and agrees to achieve Final Completion within 30 consecutive calendar days thereafter.

CALENDAR DAYS: Provide number of days to achieve substantial completion.

Calendar Days () _____

ALTERNATES:

The following Alternates may be added to the Base Proposal if selected by Owner. All work shown on drawings and/or specified is in Base Bid, except for such work specifically called to be an Alternate. Refer to **Section 01230** - Alternates.

- 1. **Alternate No. 1: Reinsulate exterior ductwork serving xRTU-1**

\$ _____

(Amount to be shown in both words and numbers. In the event of a difference between the written amount and the number amount, the written amount shall prevail.)

Additional Calendar Days (if any) _____

- 2. **Alternate No. 2: Replace damaged ductwork serving xRTU-1 (allowance for replacement of up to 800 lb of ductwork – provide unit price for replacement of existing ductwork between connection and exterior wall in \$/100 lbs.**

\$ _____ per 100 lbs.

(Amount to be shown in both words and numbers. In the event of a difference between the written amount and the number amount, the written amount shall prevail.)

Additional Calendar Days (if any) _____

- 3. **Alternate No. 3: 2nd Floor insulation at exterior wall**

\$ _____

(Amount to be shown in both words and numbers. In the event of a difference between the written amount and the number amount, the written amount shall prevail.)

Additional Calendar Days (if any) _____

- 4. **Alternate No. 4: Downspout repair and tie-in**

\$ _____

(Amount to be shown in both words and numbers. In the event of a difference between the written amount and the number amount, the written amount shall prevail.)

Additional Calendar Days (if any) _____

- 5. **Alternate No. 5: Sidewalk joint repairs/ Stairway concrete repairs**

\$ _____

(Amount to be shown in both words and numbers. In the event of a difference between the written amount and the number amount, the written amount shall prevail.)

Additional Calendar Days (if any) _____

RESPECTFULLY SUBMITTED:

SIGNATURE: _____
Signature in Ink

DATE: _____

NAME: _____
Please Type or Print

Corporate Seal if Applicable

TITLE: _____

BIDDERS NAME: _____
BIDDERS
ADDRESS: _____

TELEPHONE: _____

EMAIL: _____
CONTRACTOR'S
LICENSE NO.: _____

CONTRACTOR'S LICENSE

West Virginia Code §30-42 requires that all persons desiring to perform contractual work in West Virginia must be duly licensed. The West Virginia Contractor Licensing Board is empowered to issue a contractor's license. Application for a contractor's license may be made by contacting the West Virginia Contractor Licensing Board, Building 3, Room 200, 1900 Kanawha Boulevard, East, Charleston, West Virginia 25305. Telephone: (304) 558-7890. West Virginia Code §30-42 requires any prospective Bidder to include the contractor's license number on or with its Bid. Successful Bidder will be required to furnish a copy of their contractor's license prior to issuance of a Purchase Order/Contract.

**AFFIDAVITS (on the following pages) – TO BE SUBMITTED WITH BID OR AS OTHERWISE
PERSCRIBED BY LAW**

- PURCHASING AFFIDAVIT: West Virginia code §5A-3-10A states that no contract or renewal of any contract may be awarded by the state or any of its political subdivisions to any vendor or prospective vendor when the vendor or prospective vendor or a related party to the vendor or prospective vendor is a debtor and the debt owed is an amount greater than \$1,000 in the aggregate. The Bidder (vendor) shall execute and submit with its bid, or as otherwise prescribed by West Virginia Code, the Purchasing Affidavit provided in the Bidding Documents.
- DRUG-FREE WORKPLACE CONFORMANCE AFFIDAVIT: West Virginia Code §21-1D-5 requires each contractor that submits a bid for the work to submit an affidavit that the contractor has a written plan for a drug-free workplace policy prior to being awarded a contract. The contractor (bidder/vendor) shall execute and submit with its bid, or as otherwise prescribed by West Virginia Code, the Drug-Free Workplace Conformance Affidavit provided in the Bidding Documents.

CERTIFIED DRUG-FREE WORKPLACE REPORT

In accordance with West Virginia Code §21-1D-7b, no less than once per year, or upon completion of the project, every contractor shall provide a certified report to the public authority which let the contract. That report must include each of the items identified in the Required Report Content section of the Certified Drug-Free Workplace Report Coversheet.

DISCLOSURE OF INTERESTED PARTIES TO CONTRACTS

Pursuant to West Virginia Code §6D-1-2, a state agency may not enter into a contract, or a series of related contracts, that has/have an actual or estimated value of \$1 million or more until the business entity

submits to the contracting state agency a Disclosure of Interested Parties to the applicable contract. In addition, the business entity awarded a contract is obligated to submit a supplemental Disclosure of Interested Parties reflecting any new or differing interested parties to the contract within 30 days following the completion or termination of the applicable contract.

The Disclosure Form is available at the following URL: <http://www.ethics.wv.gov/Pages/forms.aspx>

VENDOR REGISTRATION AND DISCLOSURE STATEMENT

The successful Bidder must be a registered vendor with the West Virginia Department of Administration, Purchasing Division, prior to receiving a contract/purchase order. Vendor registration information is available at the following URL: <http://www.state.wv.us/admin/purchase/vrc/wv1.pdf>

LIQUIDATED DAMAGES

The Owner will suffer financial loss if the Work is not Substantially Complete within the Contract Time following the date established for commencement of the Work in the notice to proceed and/or purchase order. As liquidated damages, and not as a penalty, the Contractor and the Contractor's surety shall be liable for and shall pay the Owner the sum of \$750 per day until Substantial Completion is achieved.

Allowances may be made for delays due to shortages of materials and/or energy resources, subject to proof by documentation, and for delays due to strikes or other delays beyond the control of the Contractor. All delays and any claim for extension of Contract Time must be properly documented in accordance with the General Conditions of the Contract for Construction, AIA Document A201-2017, and the State of West Virginia Supplementary Conditions to AIA Document A201-2017.

ADDENDA ACKNOWLEDGMENT

The undersigned hereby acknowledges receipt of the following Addenda and has taken the information contained therein into full consideration in the formulation of this Bid.

- Addenda No. 1 _____
- No. 2 _____
- No. 3 _____

Failure to acknowledge receipt of each Addendum may be cause for rejection of the Bid.

SIGNATURE: _____ DATE: _____
Signature in Ink

**LIST OF PROPOSED SUBCONTRACTORS
(To Be Completed and Submitted with Bid)**

List as designated below the proposed subcontractor for each major branch of work for this bid. Also, provide the subcontractor's license number as required by the West Virginia Contractors Licensing Act. If the branch of work is to be completed solely by the Bidder/Contractor, so indicate. If the acceptance of an alternate bid changes a subcontractor, indicate by notation below. The Bidder/Contractor may be requested to change an unsatisfactory subcontractor. The Bidder/Contractor is responsible for selecting or changing subcontractors. The Owner and Architect/Engineer may indicate their concerns about any

entity listed which they have reason to believe past experience indicates that poor performance may be expected. The Bidder/Contractor has full responsibility for satisfactory execution of all work in accordance with the Contract Documents. Any change of proposed subcontractors shall be at no additional cost to the Owner, as the Bidder/Contractor has full responsibility for execution of the work. Bidder/Contractor shall have up to two hours after the bid opening to make adjustments if necessary. Owner will suffer loss should Contractor change from those listed beyond the two-hour time stipulated. Please email adjustments/modifications to Chief Procurement Officer at rich.donovan@wvhepc.edu.

Branch of Work/Material Category	Subcontractor/Supplier	Contractor License No.
1. <u>Steel Fabricator</u>	_____	_____
2. <u>Roof Membrane Manufacturer</u>	_____	_____
3. <u>Roof Installer</u>	_____	_____
4. <u>Interior Finishes</u>	_____	_____
5. <u>Painting</u>	_____	_____
6. <u>Mechanical System</u>	_____	_____
7. <u>Electrical System</u>	_____	_____
8. _____	_____	_____
9. _____	_____	_____

**END OF FORM OF PROPOSAL
END OF SECTION 00300**

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if the Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternates into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include, as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation, whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other Work of the Contract.
- C. Schedule: A Part 3 "Schedule of Alternates" Article is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

1. **Alternate No. 1:** Reinsulate exterior ductwork serving xRTU-1
Remove insulation on supply and return ductwork from the unit connection to the exterior wall penetration. Install new supply and return insulation from the unit connection to the exterior wall penetration in accordance with project documents. Disconnect/reconnect existing ductwork as required to remove/install insulation.
2. **Alternate No. 2:** Replace exterior damaged ductwork serving xRTU-1
Investigate supply and return ductwork upon removal of existing insulation under Alternate No. 1 between the unit connection and exterior wall penetration. Include an allowance for replacement of 800 lb of ductwork between unit connection and exterior wall. Provide a unit price for replacement of existing ductwork between unit connection and exterior wall in \$/100 lb.
3. **Alternate No. 3:** 2nd Floor Insulation at Exterior Wall
Infill of voids in exterior walls on second floor in the area of Catering Kitchen (room 227) and adjacent spaces. Work is as described on sheet A-1.2 and associated specification sections for insulation and other products.
4. **Alternate No. 4:** Downspout repair and tie-in
Redirection of existing stormwater downspout discharge. Work shall include, but not be limited to: saw cut of existing sidewalk, trenching, installation of new 4" PVC SCH. 80 carrier pipe sloped to drain, tie-in from existing downspout to newly installed 4" carrier pipe, tie-in to existing yard drain inlet complete including all necessary components to provide a water tight seal, backfill and compaction of trench, sidewalk repairs with new concrete and joint sealant.
5. **Alternate No. 5:** Replacing sealant in sidewalk joints/Stairway concrete repairs
Removal of existing failing sidewalk joint sealant around the perimeter sidewalks and traffic circle as depicted in in the drawings with red shading. Cleaning of the joints of all foreign debris should be performed to ensure proper adhesion prior to resealing of the sidewalk joints with Sika Flex 1A, or approved equivalent.

Repair of both sets of existing stairways depicted in the drawings with green shading. Work includes, but is not limited to: removal of existing tread plates, re-attachment of existing handrails, repair of cracked, broken, chipped, sections of

concrete, patching and filling of any holes or depressions in the existing concrete, coating existing concrete stairs with Sika Repair 223, or approved equivalent.

END OF SECTION 012300



2001 Union Carbide Drive WV Community & Technical College

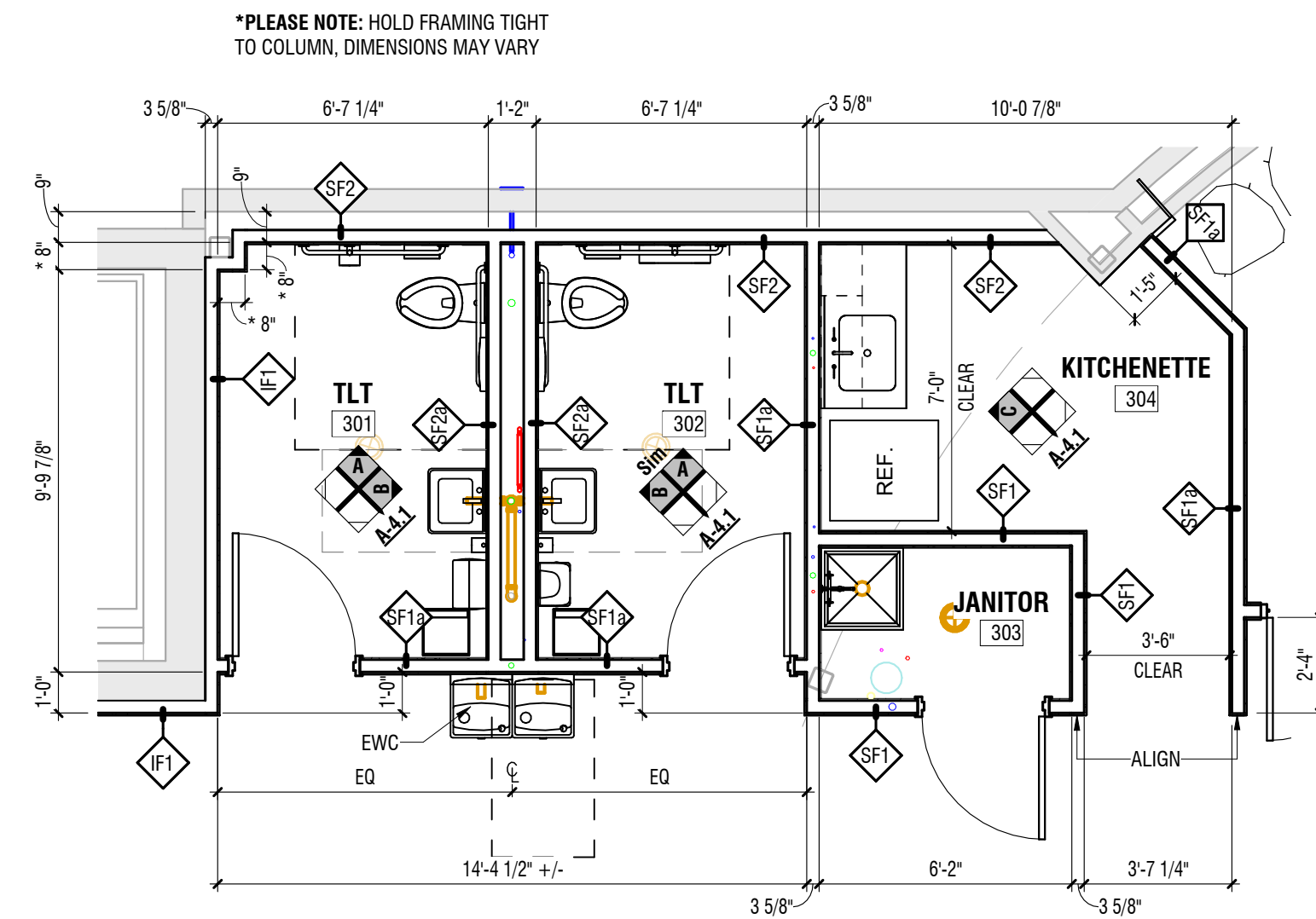
Level C

Adult Education Learning Center

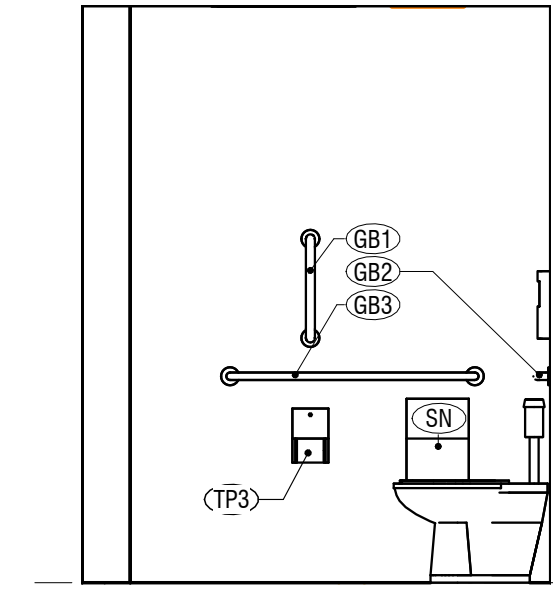
Entrance to deliver bids to WV Community & Technical College System. When you enter the lobby and see the Cafe to the left, you are in the right place. Then follow the signs.

Union Carbide Drive

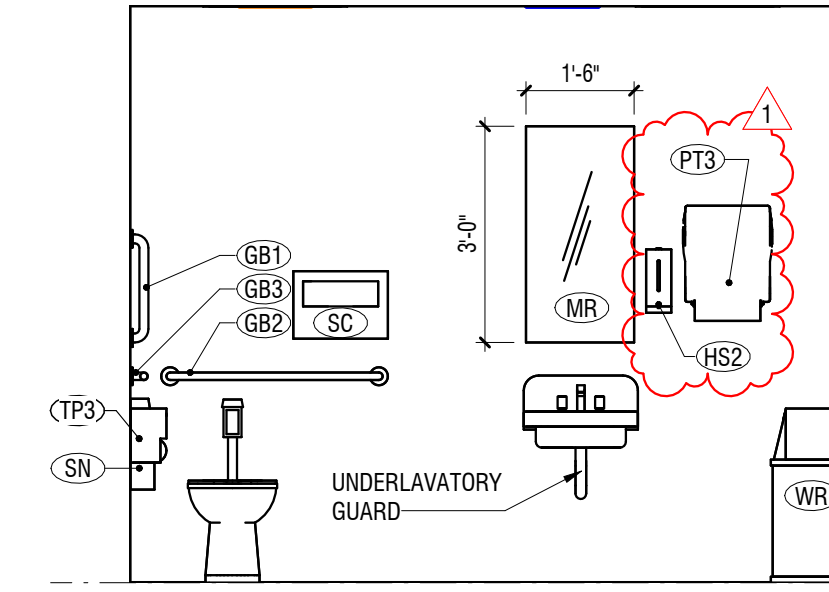
Main Campus Drive



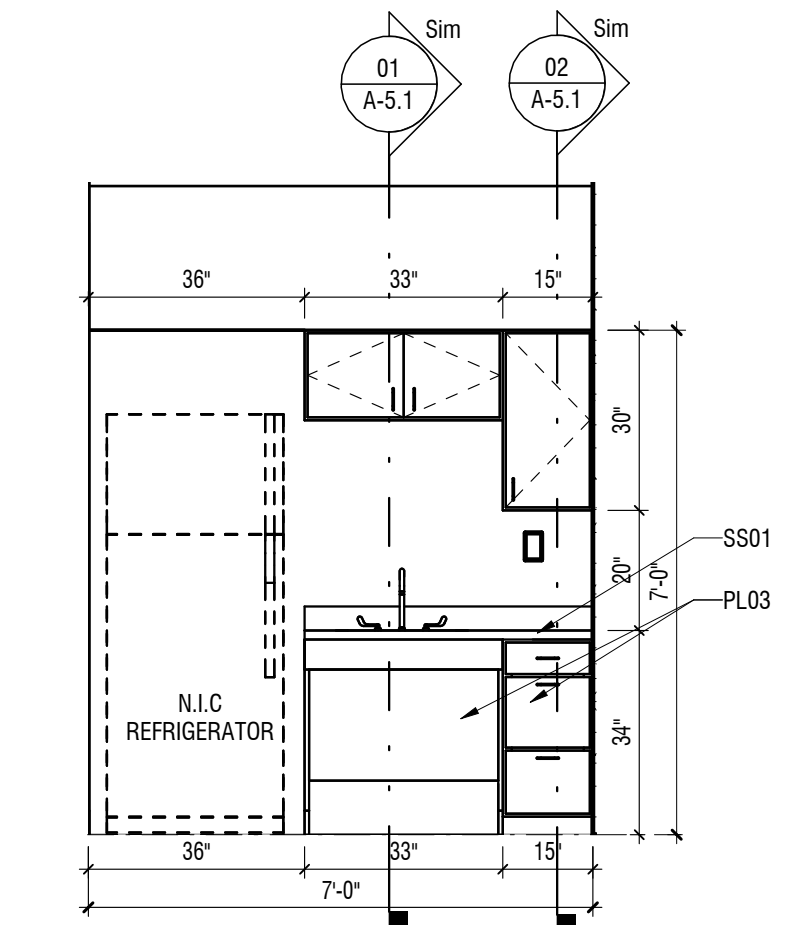
01 RESTROOM AND KITCHENETTE ENLARGED PLAN
SCALE: 1/4" = 1'-0" SHEET: A-4.1



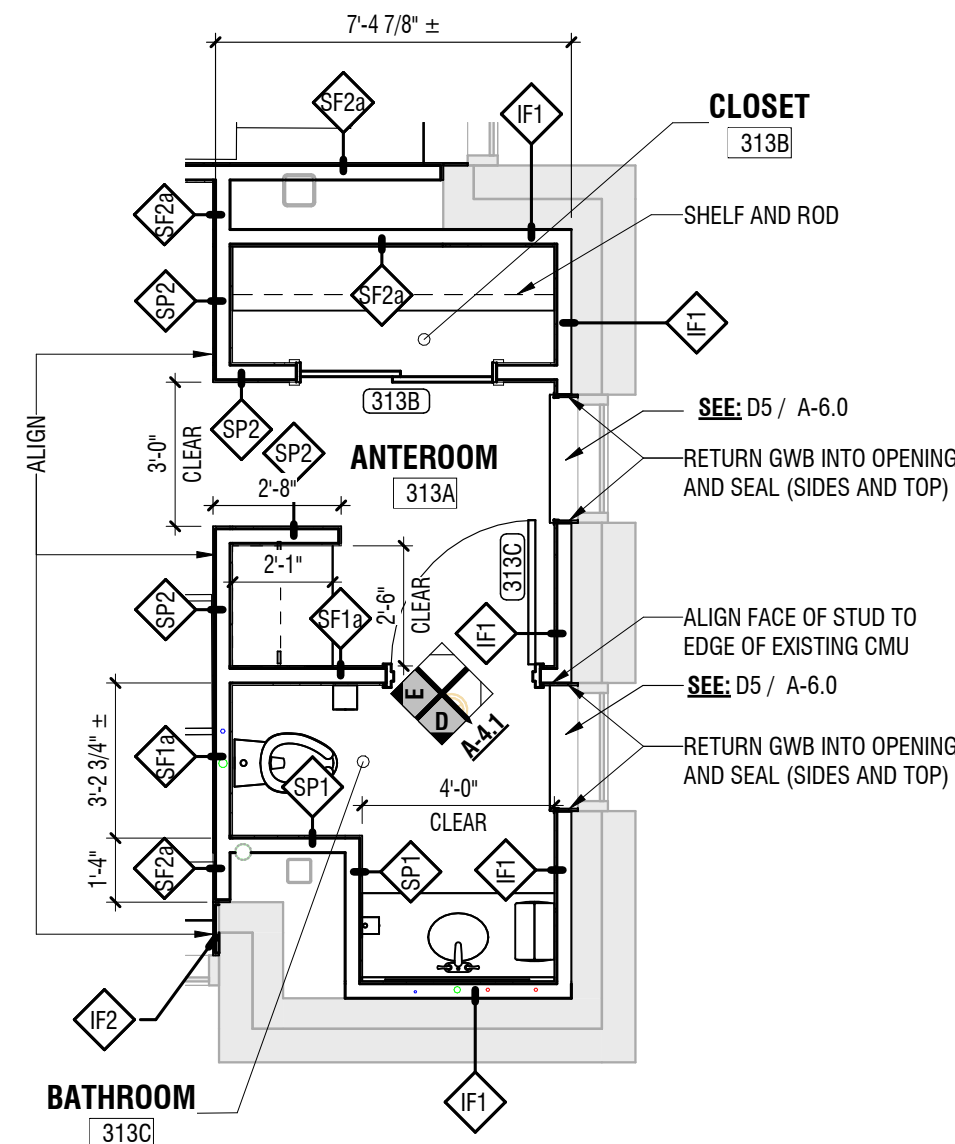
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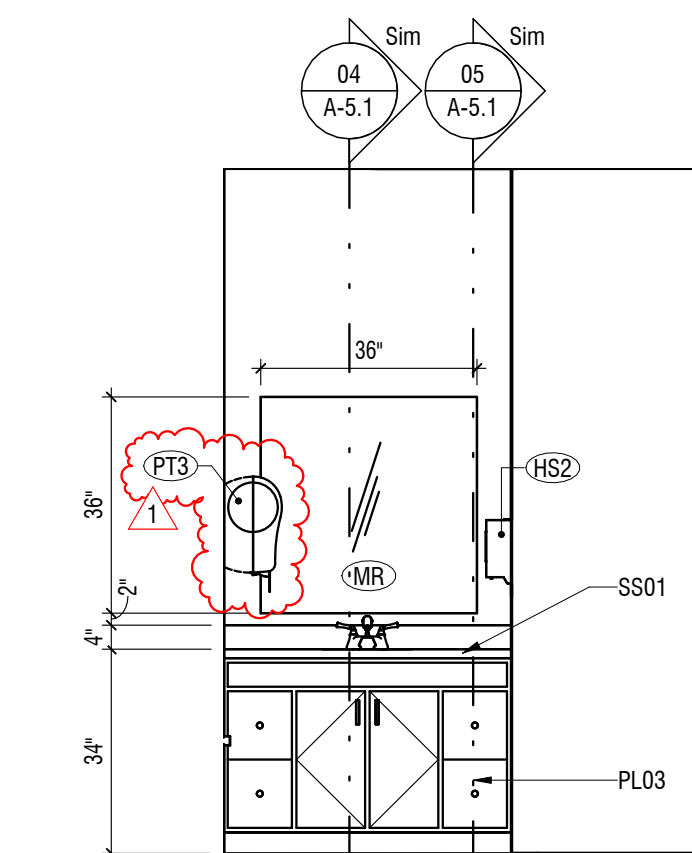
B TLT 301 AND 302 INT. ELEV. B
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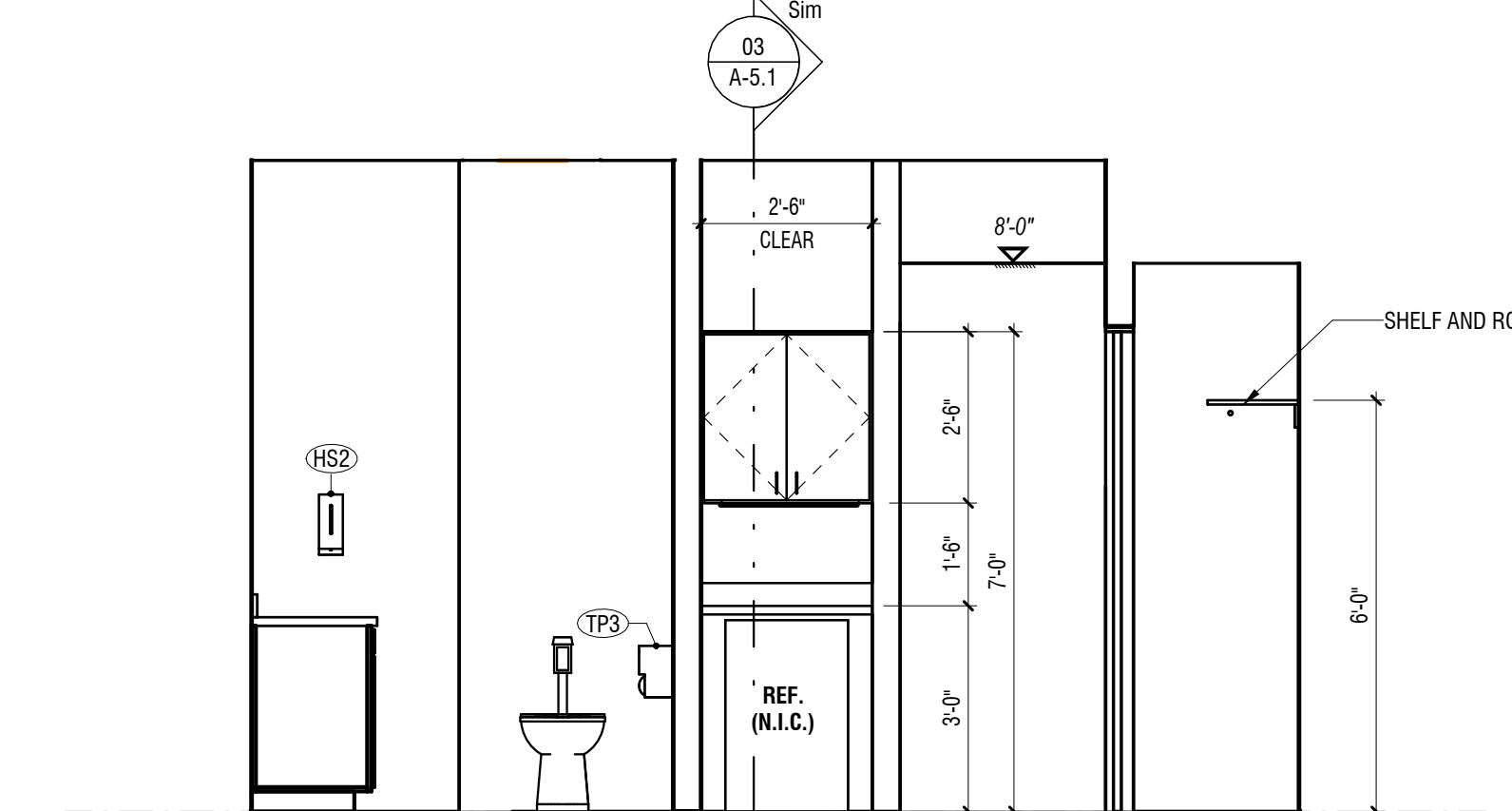
C KITCHENETTE ELEVATION
SCALE: 3/8" = 1'-0" SHEET: A-4.1



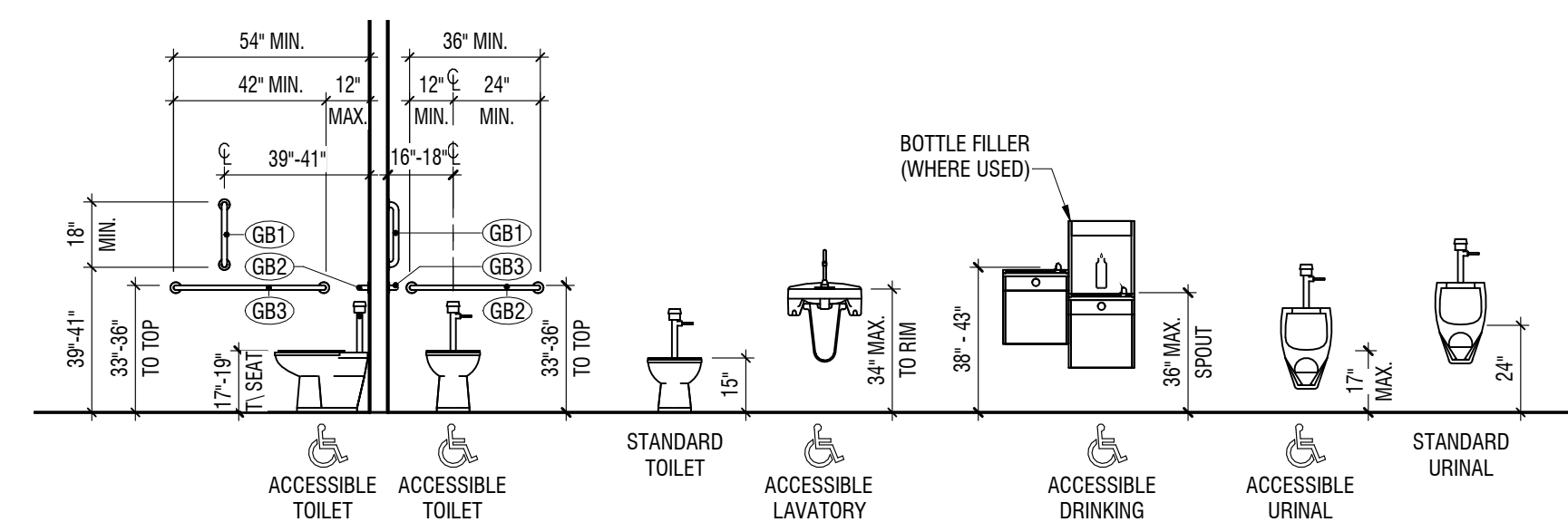
02 PRESIDENT OFFICE RESTROOM ENLARGED PLAN
SCALE: 1/4" = 1'-0" SHEET: A-4.1



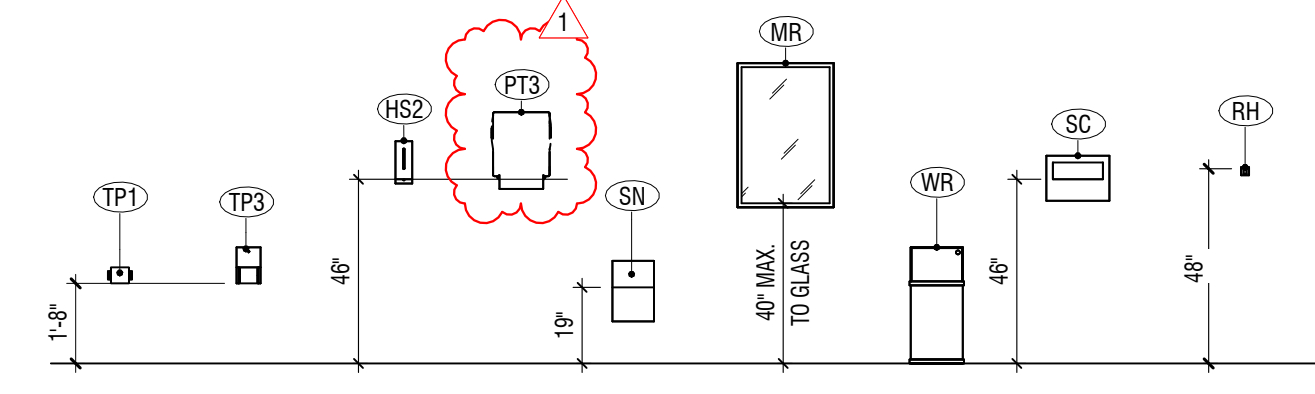
D PRESIDENT RR INT. ELEV.
SCALE: 3/8" = 1'-0" SHEET: A-4.1



E PRESIDENT RR AND CASEWORK INT. ELEV.
SCALE: 3/8" = 1'-0" SHEET: A-4.1



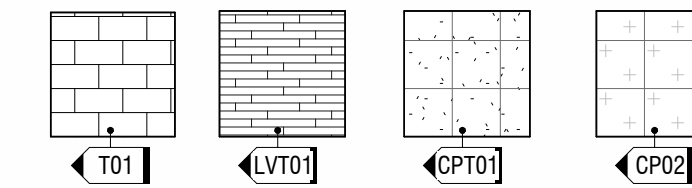
PLUMBING FIXTURES
SCALE: 1/4" = 1'-0"



TOILET ACCESSORIES
SCALE: 1/4" = 1'-0"

Mark	Description
GB1	GRAB BAR 18" LONG (VERTICAL)
GB2	GRAB BAR 36" LONG (HORIZONTAL)
GB3	GRAB BAR 42" LONG (HORIZONTAL)
HS2	SOAP DISPENSER (AUTOMATIC) - SURFACE MOUNTED (N.I.C. - BY OWNER)
MR	MIRROR, SEE INTERIOR ELEVATIONS FOR SIZE
PT3	PAPER TOWEL DISPENSER (AUTOMATIC, ROLL TOWELS) - SURFACE MOUNTED (N.I.C. - BY OWNER)
RH	ROBE HOOK - PROVIDE ON RESTROOM SIDE OF EACH RESTROOM DOOR
SC	TOILET SEAT COVER DISPENSER (N.I.C. - BY OWNER)
SN	SANITARY NAPKIN DISPOSAL (N.I.C. - BY OWNER)
TP1	TOILET TISSUE DISPENSER (SINGLE ROLL) - SURFACE MOUNTED (N.I.C. - BY OWNER)
TP3	TOILET TISSUE DISPENSER (DOUBLE ROLL) ENCLOSED - SURFACE MOUNTED (N.I.C. - BY OWNER)
US	UTILITY SHELF WITH MOP & BROOM HOLDERS
WR	WASTE RECEPTACLE (N.I.C. - BY OWNER)

INTERIOR MATERIALS



FINISH NOTES

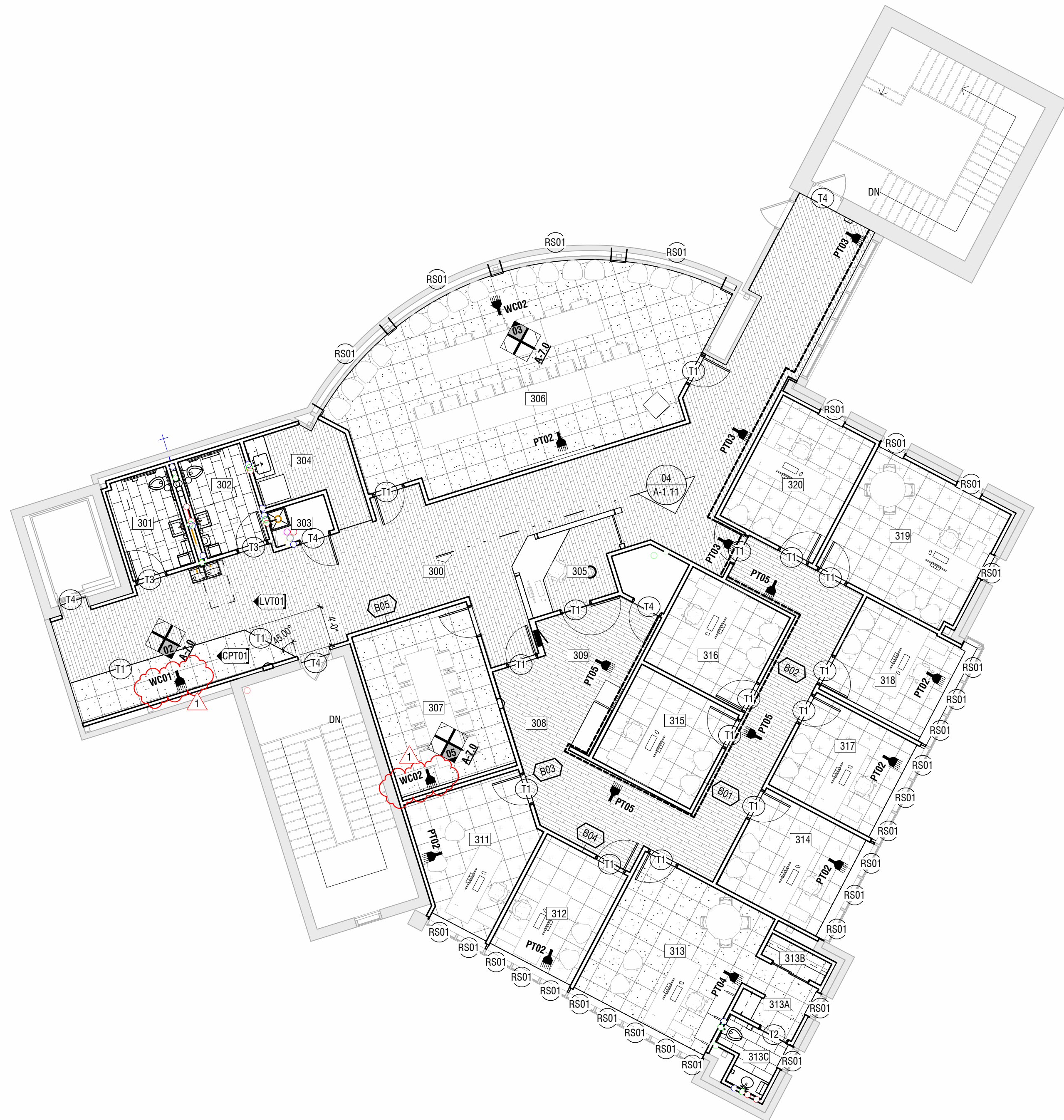
- A. Finish notes apply to all finish sheets.
- B. Ceiling heights, as noted on the reflected ceiling plans or in the room finish schedule, are measured from finish floor of scheduled room.
- C. General contractor shall provide base at casework and millwork.
- D. Where floor finish changes from one room to another, set joint of the materials at the center of the communicating door.
- E. Flooring transition details are represented with this symbol: (T#)
- F. Paint PT07 is to be used as finish for ceilings, U.N.O.

INTERIOR FINISH SCHEDULE

Number	SPACE		FLOOR	Base Finish	Wall Finish	CEILING FINISH	REMARKS
	Name	Area					
03 THIRD FLOOR							
300	CORRIDOR	956 SF	LV101/CPT01	RB01	WC01, PT01	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS
301	TLT	65 SF	T01	RB02	PT01	ACT-1	
302	TLT	66 SF	T01	RB02	PT01	ACT-1	
303	JANITOR	22 SF	SC01	RB01	PT01	EXP	
304	KITCHENETTE	81 SF	LV101	RB01	PT01	ACT-1/GWB-2	
305	RECEPTION	70 SF	LV101	RB02	PT01	ACT-2, GWB-2	CEILING AND BULKHEAD PT06.
306	LARGE CONFERENCE	638 SF	CPT01	RB03	PT01, PT02, WC02	ACT-2/GWB-1	SEE FINISH PLAN FOR ACCENT LOCATIONS
307	SMALL CONFERENCE	202 SF	CPT01	RB03	PT01, WC02	ACT-3/GWB-2	SEE FINISH PLAN FOR ACCENT LOCATIONS
308	CORRIDOR	365 SF	LV101	RB01	PT01 PT05	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS
309	WORK	114 SF	LV101	RB01	PT01,PT05	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS
310	I.T.	33 SF	SC01	RB01	PT01	EXP	
311	OFFICE	146 SF	CPT02	RB01	PT01, PT02	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS
312	OFFICE	113 SF	CPT02	RB01	PT01, PT02	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS, SS01 ON WINDOW SILLS
313	PRESIDENT	227 SF	CPT01	RB01	PT04, PT01	ACT-1/GWB-2	SEE FINISH PLAN FOR ACCENT LOCATIONS, SS01 ON WINDOW SILLS
313A	ANTEROOM	39 SF	CPT01	RB01	PT04	ACT-1/GWB-2	SS01 ON WINDOW SILLS
313B	CLOSET	16 SF	CPT01	RB01	PT04	GWB-2	SS01 ON WINDOW SILLS
313C	BATHROOM	33 SF	T01	RB02	PT01	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS, SS01 ON WINDOW SILLS
314	PRES. EXEC. ASST.	124 SF	CPT02	RB03	PT01,PT02	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS, SS01 ON WINDOW SILLS
315	OFFICE	117 SF	CPT02	RB01	PT01, PT02	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS, SS01 ON WINDOW SILLS
316	OFFICE	117 SF	CPT02	RB01	PT01, PT02	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS, SS01 ON WINDOW SILLS
317	OFFICE	119 SF	CPT02	RB01	PT01, PT02	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS, SS01 ON WINDOW SILLS
318	OFFICE	118 SF	CPT02	RB01	PT01, PT02	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS, SS01 ON WINDOW SILLS
319	V.P. OF ACADEMIC SERVICES	202 SF	CPT02	RB01	PT01, PT02	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS, SS01 ON WINDOW SILLS
320	V.P. EXEC. ASST.	142 SF	CPT02	RB01	PT01, PT02	ACT-1	SEE FINISH PLAN FOR ACCENT LOCATIONS, SS01 ON WINDOW SILLS

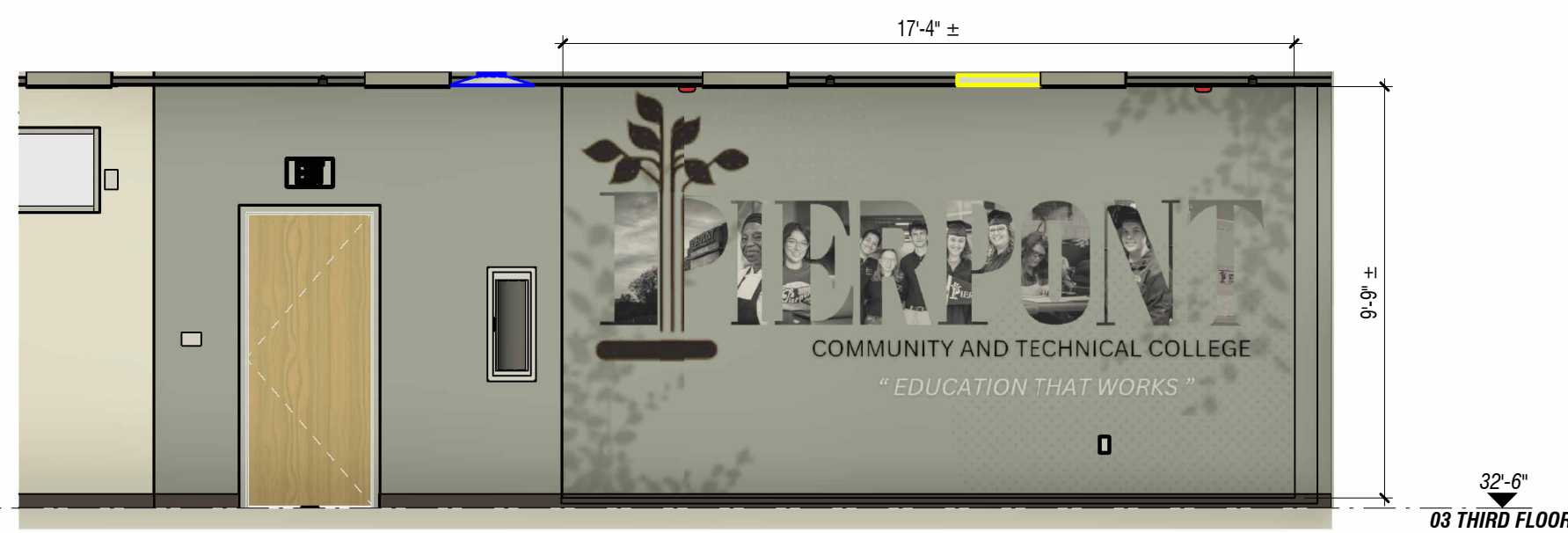
INTERIOR MATERIALS LEGEND

- TILE**
- T01 FLOOR TILE
MANF: STONEPEAK
TYPE: CLASSIC COLLECTION, 12x24 STATUARIETTO, HONED
NOTES: OFFSET PATTERN, 1/8 GROUT LINE, G01
- CARPET**
- CP01 CARPET
MANF: SHAW CONTRACT
TYPE: WEST ELM, STONEWORK TILE PEBBLE 8411
NOTES: INSTALL PATTERN: QUARTER TURN
 - CP02 CARPET
MANF: TARKETT
TYPE: CREATE UNITY TOGETHER
NOTES: INSTALL PATTERN: VERTICAL ASHLAR
- LVT**
- LV101 LVT
MANF: MOHAWK GROUP
TYPE: LIVING COLLECTION, SCONCE 2345
NOTES: PATTERN RANDOM
- PAINT**
- PT01 FIELD COLOR
MANF: SHERWIN WILLIAMS
TYPE: GREEK VILLA 7551
NOTES: EGGSHELL FINISH
 - PT02 ACCENT COLOR
MANF: SHERWIN WILLIAMS
TYPE: EARL GREY 7680
NOTES: EGGSHELL FINISH
 - PT03 ACCENT COLOR
MANF: SHERWIN WILLIAMS
TYPE: FOOTHILLS 7514
NOTES: EGGSHELL FINISH
 - PT04 ACCENT COLOR
MANF: SHERWIN WILLIAMS
TYPE: WHEAT PENNY 7705
NOTES: EGGSHELL FINISH
 - PT05 ACCENT COLOR
MANF: SHERWIN WILLIAMS
TYPE: HONED SOAPSTONE 9126
NOTES: EGGSHELL FINISH
 - PT06 ACCENT CEILING COLOR
MANF: SHERWIN WILLIAMS
TYPE: WHEAT PENNY 7705
NOTES: FLAT, FOR CEILING AT RECEPTION
 - PT07 FIELD CEILING COLOR
MANF: SHERWIN WILLIAMS
TYPE: HIGH REFLECTIVE WHITE SW7757
NOTES: FLAT
- WALL COVERING**
- WC01 ENTRY PIERPONT MURAL
TYPE: VINYL, MATTE
NOTES: WALL TO BE PAINTED PT06 PRIOR TO INSTALLATION, OWNER TO SUPPLY IMAGE FILE
 - WC02 WALL COVERING
MANF: MOMENTUM
TYPE: FORCE OF NATURE, BX488N SAND
- GROUT**
- G01 GROUT
MANF: TEC
TYPE: DEL OREGAN GRAY
NOTES: 1/8 GROUT LINE
- RESILIENT BASE**
- RB01 FIELD RUBBER BASE
MANF: JOHNSONITE
TYPE: DARK BROWN 44, STANDARD 4"
NOTES:
 - RB02 RUBBER BASE
MANF: JOHNSONITE
TYPE: MEDIUM GREY 28, STANDARD 4"
NOTES: FOR TILE AREAS
 - RB03 RUBBER BASE
MANF: JOHNSONITE
TYPE: DARK BROWN 44, MW-20-G
NOTES:
- PLASTIC LAMINATE**
- PL01 LAMINATE
MANF: LAMITECH
TYPE: SAVANNAH OAK EBONY 1538
NOTES:
 - PL02 LAMINATE
MANF: LAMITECH
TYPE: SPECIAL EFFECTS 2502
NOTES:
 - PL03 LAMINATE
MANF: WILSONART
TYPE: PEPPERDUST D327-60 MATTE
NOTES:
- SOLID SURFACE**
- SS01 SOLID SURFACE
MANF: STARON SUPREME
TYPE: VR184 RENO
NOTES: ALL WINDOW SILLS NOTED FOR SS AND COUNTERS
- MISCELLANEOUS**
- ACT-1 ACOUSTIC CEILING TILE
MANF: ARMSTRONG
TYPE: ULTIMA LAY-IN
 - ACT-2 ACOUSTIC CEILING TILE
MANF: ARMSTRONG
TYPE: OPTIMA CONCEALED
 - ACT-3 ACOUSTIC CEILING TILE
MANF: ARMSTRONG
TYPE: LYRA PB WOOD
 - RS01 ROLLER SHADES
MANF: DRAPER
TYPE:
NOTES:
 - PF01 PREFAB METAL COLUMN COVER
MANF:
TYPE: BUCKSKIN



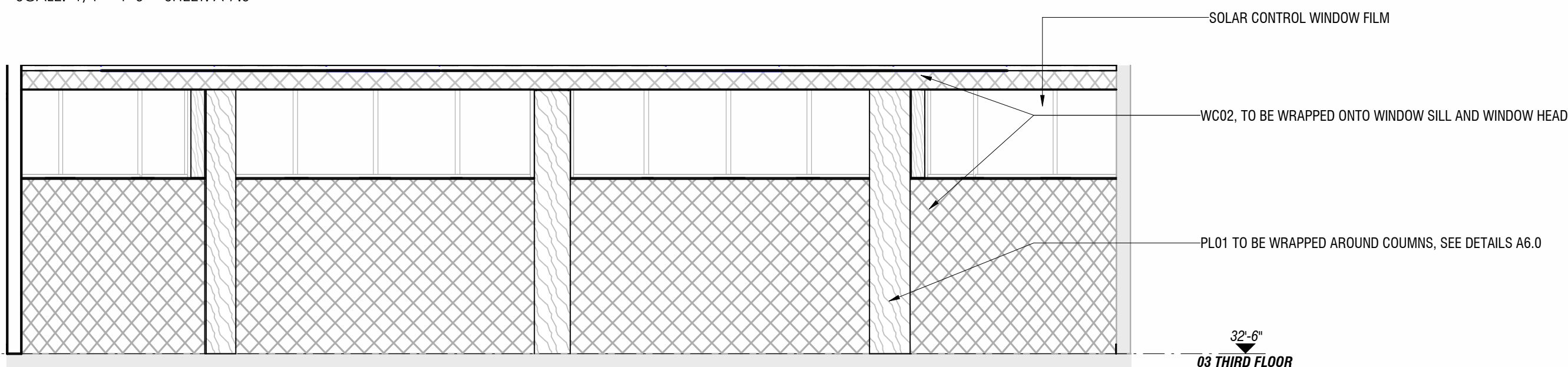
01 03 THIRD FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0" SHEET: A-7.0



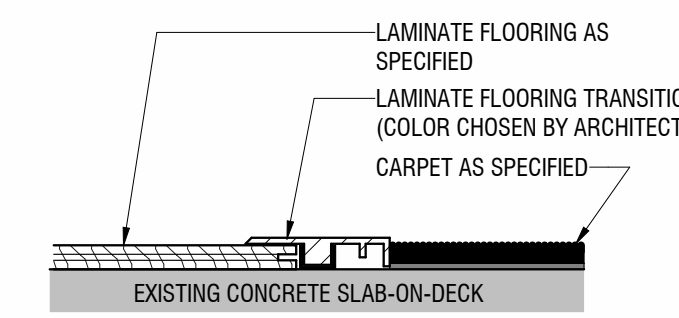
02 WC03 ELEVATION

SCALE: 1/4" = 1'-0" SHEET: A-7.0



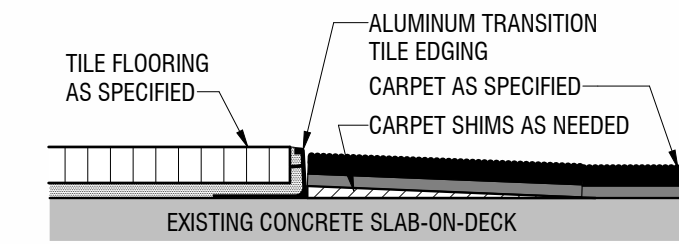
03 LARGE CONFERENCE ROOM

SCALE: 1/4" = 1'-0" SHEET: A-7.0



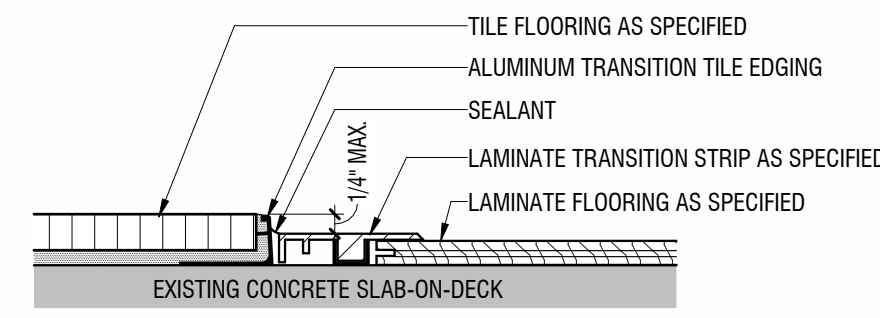
T1 FLOORING TRANSITION

SCALE: 6" = 1'-0" SHEET: A-7.0



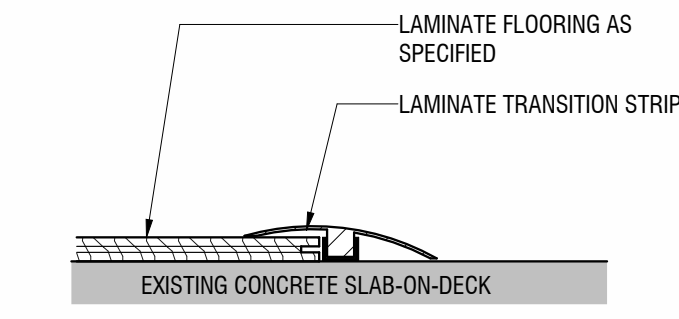
T2 FLOORING TRANSITION

SCALE: 6" = 1'-0" SHEET: A-7.0



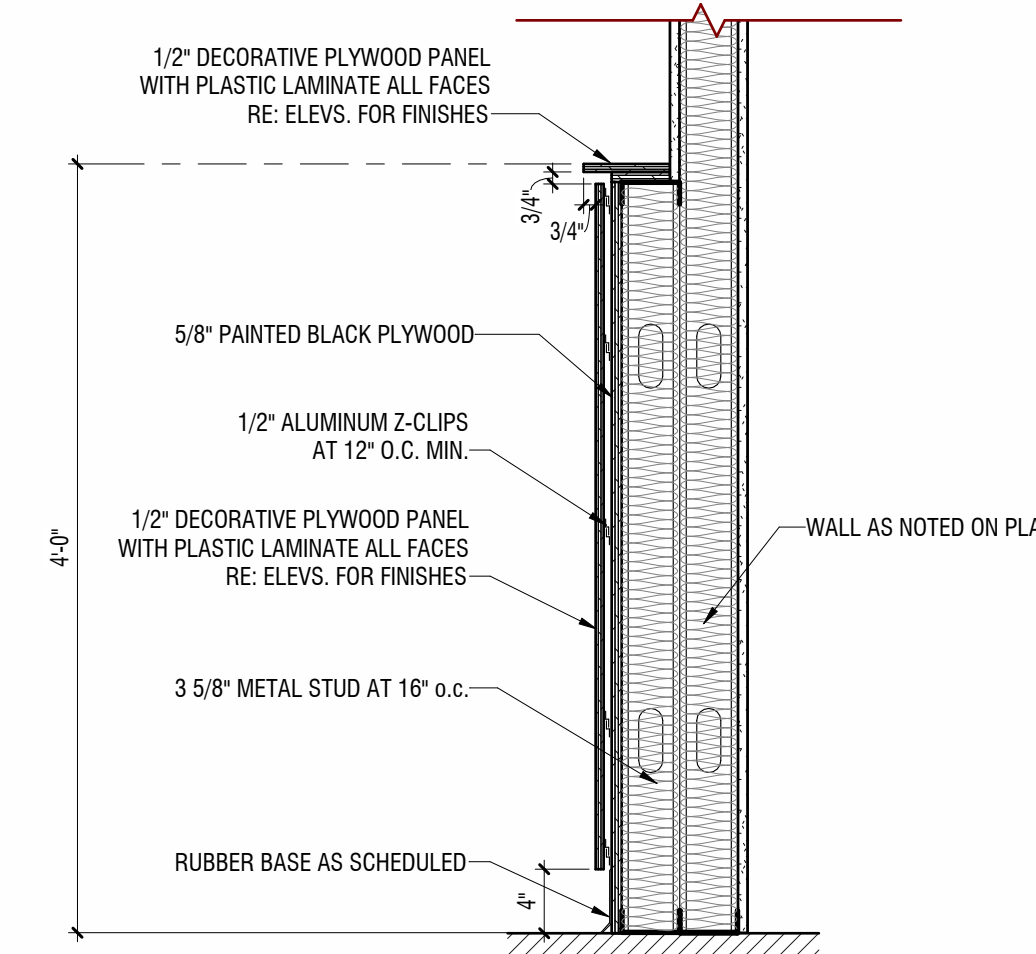
T3 FLOORING TRANSITION

SCALE: 6" = 1'-0" SHEET: A-7.0



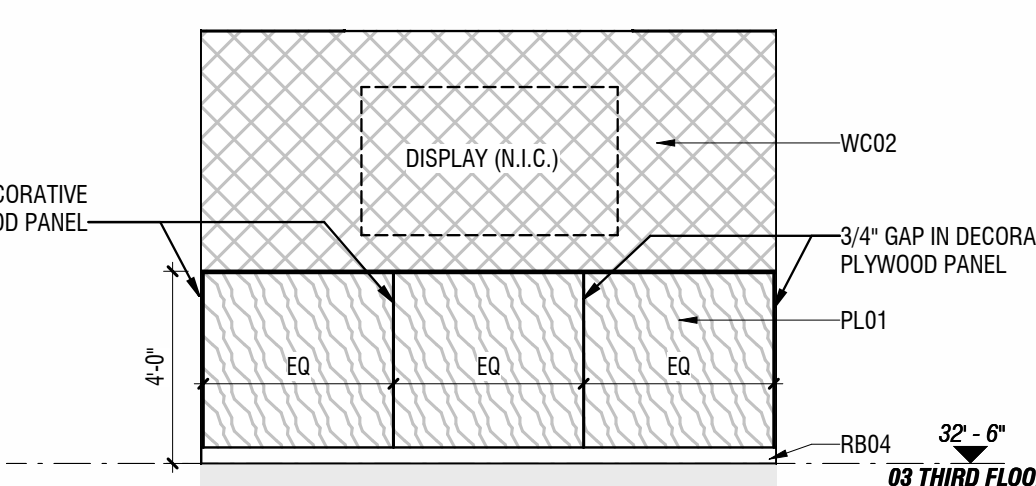
T4 FLOORING TRANSITION

SCALE: 6" = 1'-0" SHEET: A-7.0



04 SMALL CONFERENCE WAINSCOT WALL

SCALE: 1" = 1'-0" SHEET: A-7.0



05 SMALL CONFERENCE ROOM

SCALE: 1/4" = 1'-0" SHEET: A-7.0